

MODIFIED CONSENT

Lot 6 DP244578

48 Appletree Street


Wingham NSW 2429

For Young Building

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Concept Designs Australia Mob 0408 864184			
48 Appletree Street WINGHAM NSW 2429			
Site Area (m²)	735	Roof Area (m²)	174
Total Area of Garden and Lawn (m²)		555	
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the current BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
4* Showerheads	Yes	4* Toilet	Yes
5* Kitchen Taps	Yes	5* Basin Taps	Yes
Alternative Water			
5000 litre rainwater tank collected from minimum 170 m2 roof area			
Connected to :			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One outdoor tap	Yes	All Hot Water Services	No
THERMAL COMFORT COMMITMENTS – refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Electric storage		-
Cooling System	Living	No cooling system	-
	Bedrooms	No cooling system	-
Heating System	Living	No heating system	-
	Bedrooms	No heating system	-
Ventilation	Bathroom	Individual fan ducted to façade or roof	Manual switch
	Kitchen	Individual fan ducted to façade or roof	Manual switch
	Laundry	Natural ventilation only	-
Natural Lighting	Window/skylight in kitchens		Yes
	Window/skylight in bathrooms/toilets		Yes No 3
Artificial Lighting	80% of light fixtures are to be fitted with fluorescent, compact fluorescent or LED lamps.		
Alternative	Minimum 13.5 peak kilowatt photovoltaic system for each house to be installed.		
OTHER COMMITMENTS			
Outdoor clothesline	Yes	Indoor/sheltered clothesline	No
Stove/Oven	Electric cooktop and electric oven		



Certificate No. 0011876653

Scan QR code or follow website link for rating details.

Assessor name

Leanne Houseman


Accreditation No.

10137

Property Address

48 Appletree Street,WINGHAM NSW,2429

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HERA Assessor # 10137		April 2025		CDA Reference: 5040	
48 Appletree Street WINGHAM NSW 2429					
Concept Designs Australia				Ph: 0408864184	
leanne.cdaus@outlook.com					
Thermal Performance Specifications					
External Wall Construction		Insulation		Colour (Solar Absorptance) Detail	
FC cladding		Vapour barrier + HD R2.5		Light	
190mm Concrete block		R1.1 Kingspan Kooltherm insulated plasterboard or similar		Light Foyer only	
190mm concrete block		None		Light Except Foyer	
Internal Wall Construction		Insulation		Detail	
Plasterboard on studs		None			
190mm concrete block		R1.1 Kingspan Kooltherm insulated plasterboard or similar		Foyer internal walls	
Ceiling Construction		Insulation		Detail	
Plasterboard		R4.0		All ceilings adjacent to roof space	
Plasterboard under concrete		R2.0		Ground floor ceilings including to floor above (Except Foyer)	
Roof Construction		Insulation		Colour (Solar Absorptance) Detail	
Colorbond		R1.5 anticon blanket		Medium	
Floor Construction		Insulation		Covering	
Concrete		R2.0 under Foyer suspended floor to subfloor R2.0 under suspended first floor to outside		Bare and Tiles	
Windows	Glass and frame type	U Value	SHGC	Details	
CAP-126-004	Aluminium framed single low e	4.24	0.59	Sliding doors – Living and Dining	
CAP-126-002	Aluminium framed single clear	6.03	0.69	Sliding doors – all remaining	
CAP-504-004	Aluminium framed single clear	5.88	0.57	Hinged doors	
CAP-030-001	Aluminium framed single clear	6.45	0.74	Sliding windows	
CAP-032-001	Aluminium framed single clear	6.49	0.66	Awning windows	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.					
Ceiling fans 1200mm ceiling fans to Living, Bed 1, Bed 2 and Bed 3					
Notes					
External doors to be weather stripped and windows to comply with AS 2047.					
This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.					
Exhaust fans to be fitted with self-closing dampers as per NCC.					
If metal frames are used, a revised assessment is required.					
Insulation specified must be installed in accordance with BCA Volume Two In some climate zones, insulation should be installed with due consideration of the condensation and associated interaction with adjoining building materials.					


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TIM CROSS

BUILDING DESIGN & DRAFTING SERVICES



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Revisions		Drawing Title:	Print Date:
	Modification Plans 22/04/2025	Cover Sheet	22/04/2025 10:13 AM
			Rev: DR1
		Drawing No:	DR-00

GENERAL NOTES

- 1. DO NOT SCALE OFF PLAN, FIGURED DIMENSIONS TAKE PREFERENCE
- 2. ALL DEEMSIONS AND LEVELS TO BE CHECKED ON PLAN BEFORE WORK IS COMMENCED.
- 3. ALL BUILDING WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT ACTS, BYLAWS REGULATIONS & CODES.
- 4. ALL STRUCTURAL CONCRETE SHALL BE CONSTRUCTED TO CONFORM TO ENGINEERS INSTRUCTIONS & RELEVANT PARTS OF THE NCC
- 5. PROTECTION FROM SUBTERRANEAN TERMITES TO COMPLY WITH AS3660-1 & NCC PART 3.4 TERMITE RISK MANAGEMENT.
- 6. SITE DRAINAGE TO COMPLY WITH NCC PART 3.1.3 CLAUSES 1-5
- 7. VENTILATION TO COMPLY WITH NCC PART 3.8.5
- 8. TIMBER FRAMING TO COMPLY WITH AS1684 & NCC PART 3.4.3
- 9. ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & 3.8.1
- 10. SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH AS3786 & NCC PART 3.7.2
- 11. LIGHTING TO COMPLY WITH NCC PART 3.8.4
- 12. STAIRS & RAMP CONSTRUCTION NCC PART 3.9.1 BARRIERS & BALISTRADES 3.9.2 & 11.3
- 13. STEEL FRAMING TO COMPLY WITH AS1230, AS3623, AS4100 & NCC PART 3.4.0

ALL SITE CONTOURS AND FINISHED LEVELS TO BE VERIFIED BY BUILDER ON SITE

ALL CUT & FILL BATTERS WHERE NOT RETAINED TO BE OF NO GREATER GRADIENT WHERE PRACTICAL OF 1:4 BATTERED EMBANKMENT.

BOUNDARY DIMENSIONS BORDERING ON MINIMUM LOCAL AUTHORITY SETBACKS TO BE VERIFIED BY SURVEYOR AT INITIAL SETOUT STAGE.

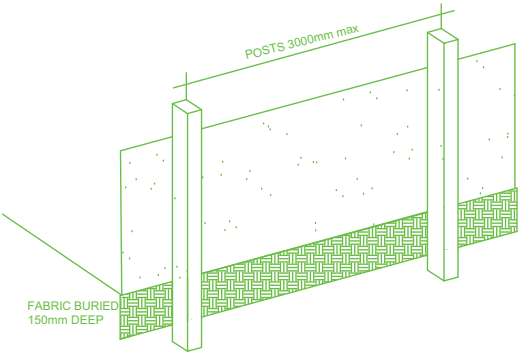
WHERE RETAINING IS REQUIRED ANY WALLS EXCEEDING 1.0M IN HEIGHT ARE TO BE DESIGNED BY A CERTIFIED ENGINEER.

STORMWATER GRATES ARE TO BE PLACED ON SITE SO AS TO ALLOW ANY EXCESS SURFACE WATER TO CUT AREAS ON SITE TO ESCAPE TO STREET SYSTEM.

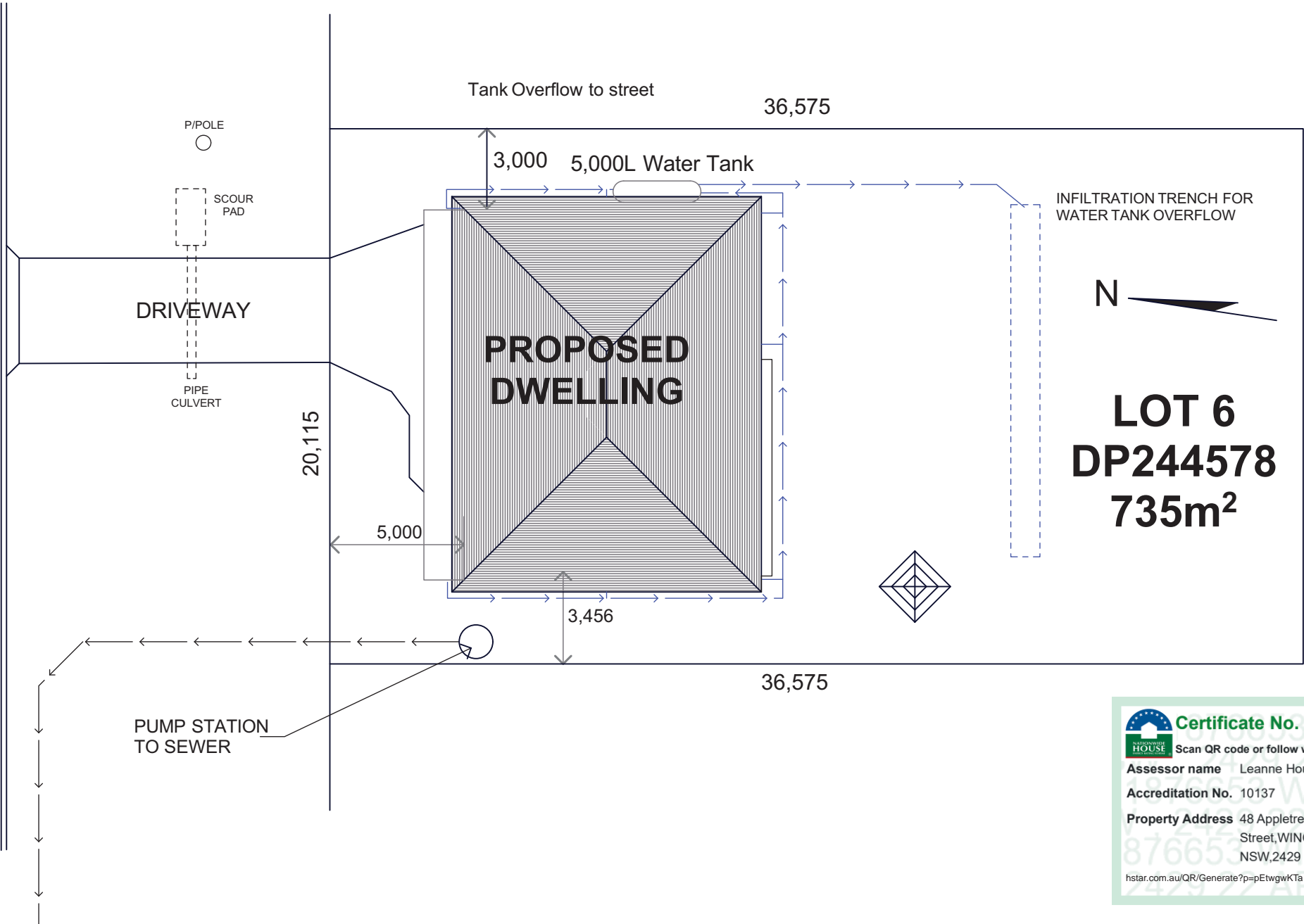
NOTE : SITE EXCAVATION SHALL BE SUCH THAT A 900mm MIN WIDE BY 1:20 GRADE EXISTS AROUND PERIMETER OF BUILDING.

SEDIMENT CONTROLS

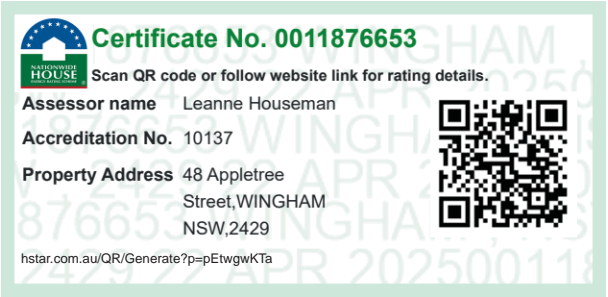
- 1. ALL EROSION & SEDIMENT CONTROL MEASURES INCLUDING REVEGETATION & STORAGE OF SOIL & TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300 WIDE X 300mm DEEP TRENCH.
- 4. ALL SEDIMENT BASINS & TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAX OF 60 % FULL OF SOIL MATERIALS INCLUDING THE MAINTENANCE PERIOD.
- 5. ALL DESTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL & TOPSOIL STOCK PILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREAS WHERE WATER MAY CONCENTRATE.
- 7. FILTER FENCE SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC BETWEEN POSTS 3m CENTERS & BURIED A MIN OF 150mm DEEP ALONG ITS LOWER EDGE.



APPLETREE STREET



BASIX SCHEDULE	
No OF BEDROOMS	3
SITE AREA (TOTAL)	735m2
ROOF AREA (TOTAL)	174m2
NET CONDITIONED FLOOR AREA	120m2
NET UNCONDITIONED FLOOR AREA	43.4m2
LANDSCAPE AREA	555m2
INDIGINOUS PLANTING REQUIRED	20m2
SHOWER HEAD RATING	4 star(>4.5 but <=6L/min)
TOILETS RATING	4 star
TAP FITTING KITCHEN	5 star
TAP FITTING BATHROOM	5 star
WATER TANK	5,000L
TANK WATER USAGE	TOILETS, GARDEN & WM
HOT WATER UNIT	Electric Storage
THERMAL COMFORT	DIY BASIX
AIR CONDITIONING	None
MECHANICAL VENTILATION (FANS)	Ceiling Fans Living , & Beds
VENTILATION BATHROOM	INDIVIDUAL FAN (DUCTED)
VENTILATION KITCHEN	INDIVIDUAL FAN (DUCTED)
VENTILATION LAUNDRY	Natural Ventilation
COOKTOP	Electric
OVEN	Electric
OUTDOOR CLOTHES LINE	YES
ENERGY EFFICIENCY NOTES	
EXT. WALL COLOUR	Light
ROOF COLOUR	Medium
FLOOR INSULATION	Fibreglass batts or Roll
EXT. WALL INSULATION	Fibreglass batts or Roll + Sarking
CEILING INSULATION	Fibreglass batts or Roll
ROOF INSULATION	Foil backed blanket
WINDOWS & GLAZED DOORS	See Full Basix certificate
LIGHTING	See full basix Certificate



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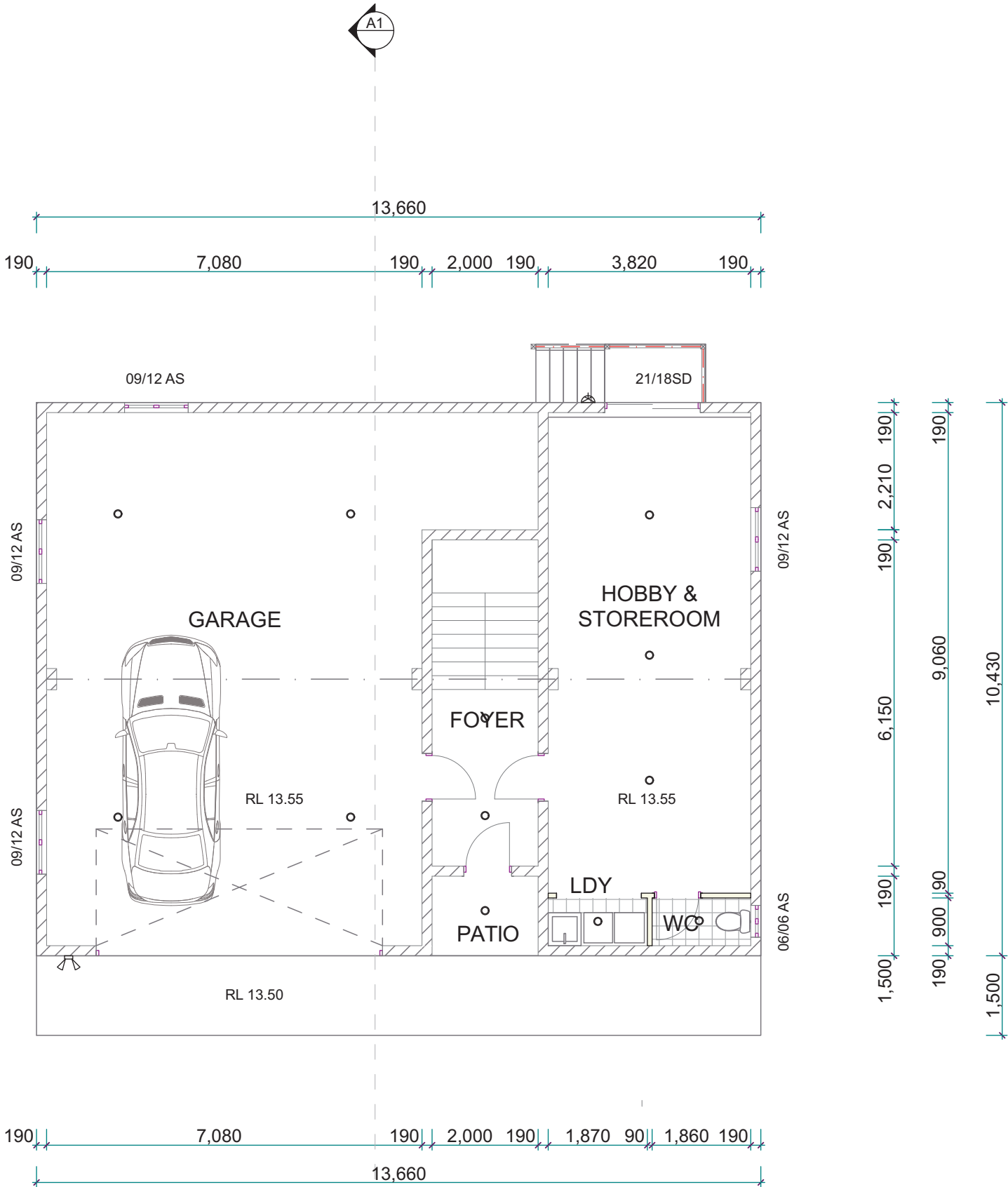
Revisions
Modification Plans 22/04/2025

Project:
MODIFIED CONSENT
Lot 6 DP244578
48 Appletree Street
Wingham NSW 2429
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Drawing Title:
Site & Roof Plan

Print Date:	22/04/2025 10:13 AM
Scale:	1:200 @ A3
Rev:	DR1
Drawing No:	DR-01

AREAS	
LOWER LIVING AREA	58.2m ²
GARAGE	81.2m ²
PATIO	3m ²
UPPER LIVING AREA	123m ²
VERANDAH	20.5m ²
ALFRESCO	27.6m ²
TOTAL	313.5m ²



- Smoke Alarm
- LED Down Light
- Pendant Light
- Ceiling Fan
- Ceiling Fan Light
- Wall Light
- Fan/Heat/Light
- Sensor Light


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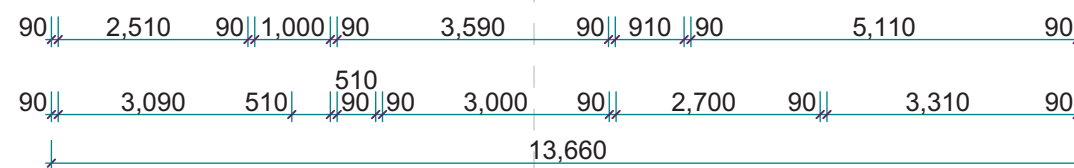
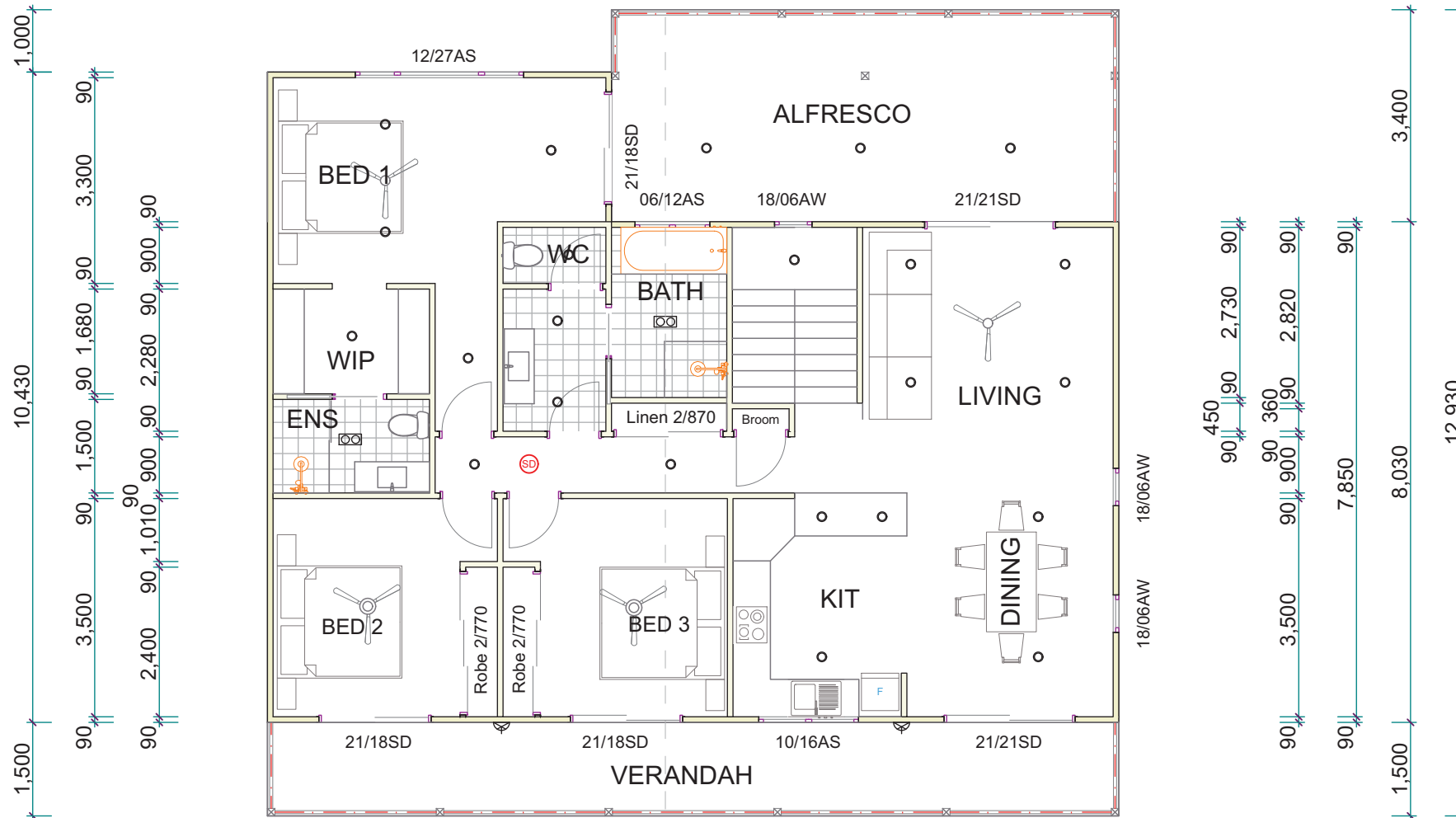
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




Drawing Title:
Ground Floor

Print Date:
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Scale: 1:120 @A3
Rev: **DR1**

Drawing No:
DR-02



-  Smoke Alarm
 -  LED Down Light
 -  Pendant Light
 -  Ceiling Fan
 -  Ceiling Fan Light
 -  Wall Light
 -  Fan/Heat/Light
 -  Sensor Light

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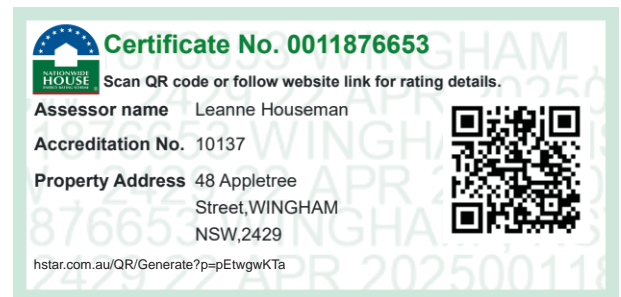
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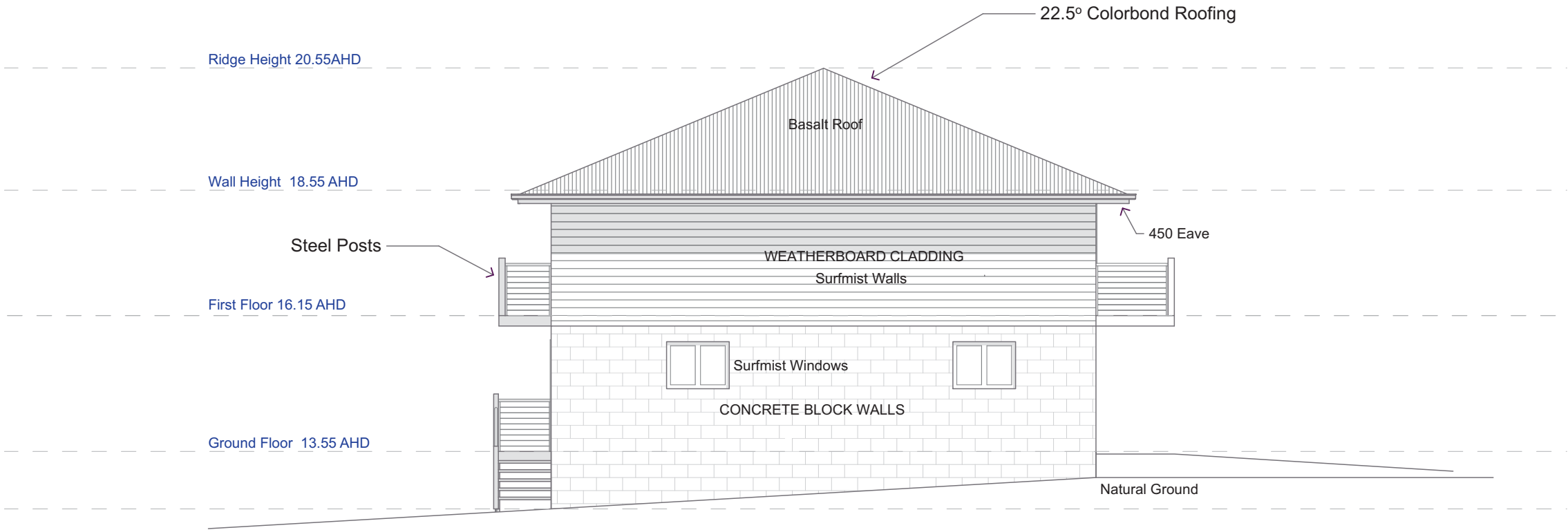
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First Floor

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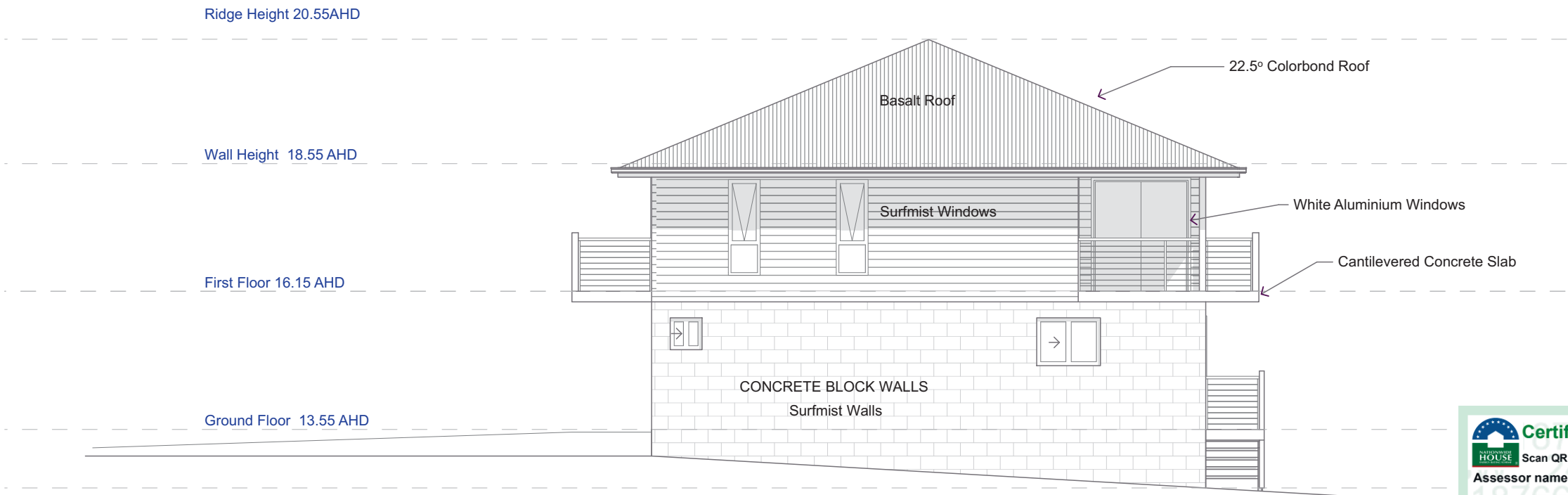
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Drawing No: **DR-03**







Eastern Elevation



Western Elevation

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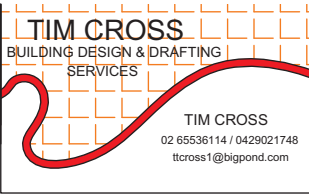
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Accreditation No. 10137
Property Address 48 Appletree Street, WINGHAM NSW, 2429


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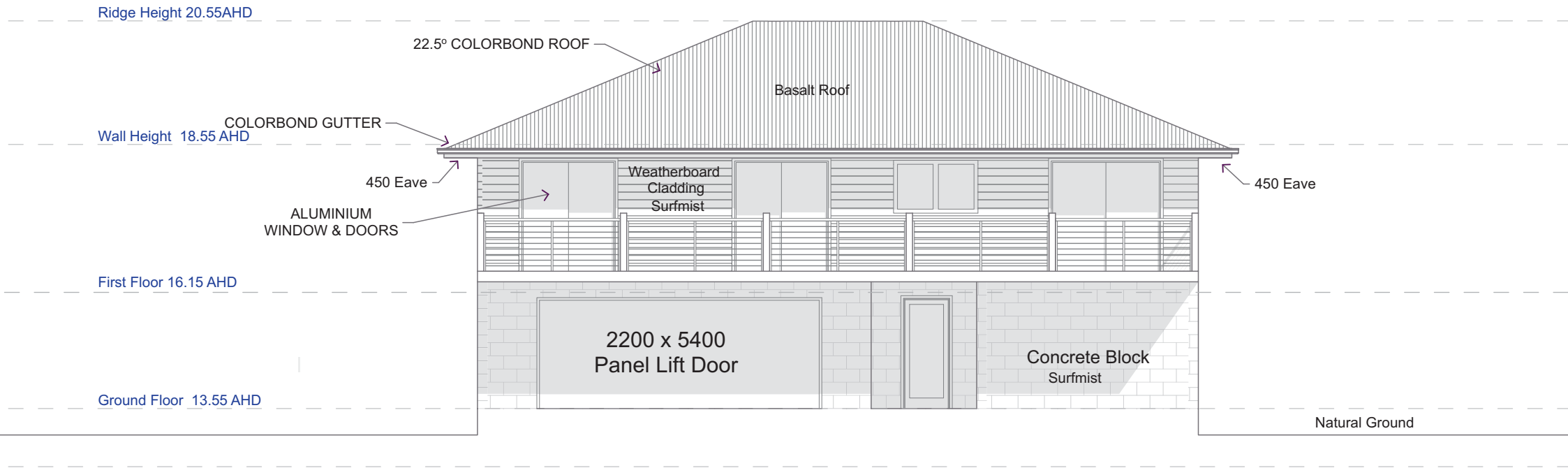
Elevations

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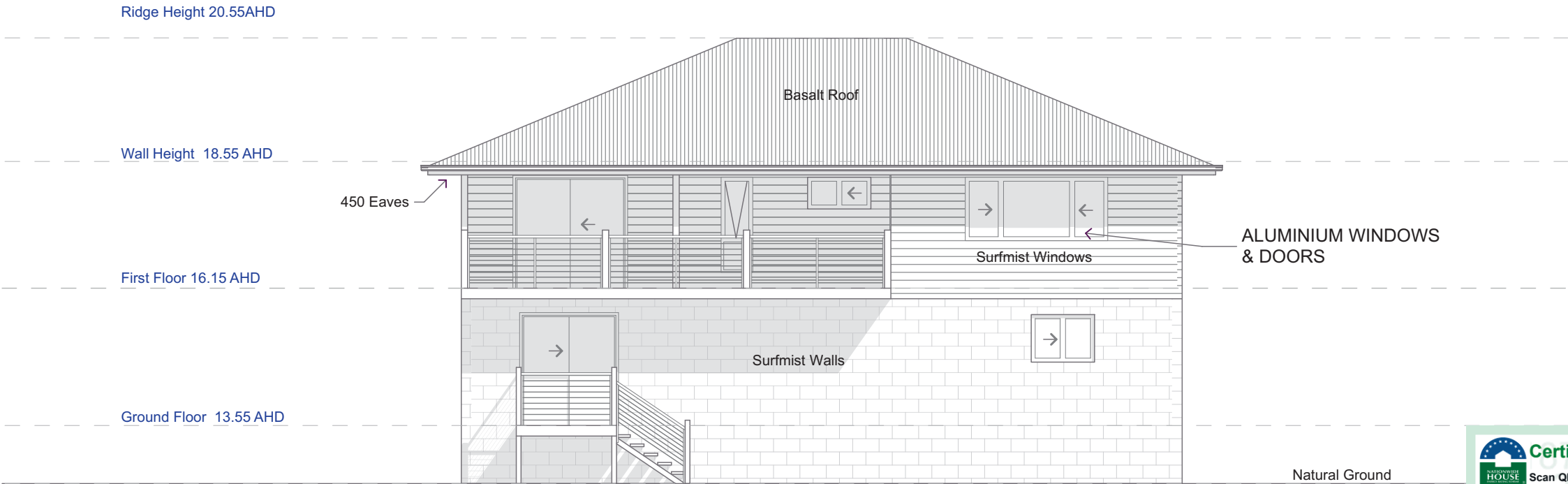
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Drawing No: **DR-04**




Northern Elevation



Southern Elevation

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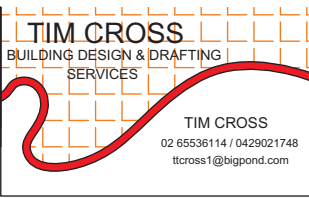


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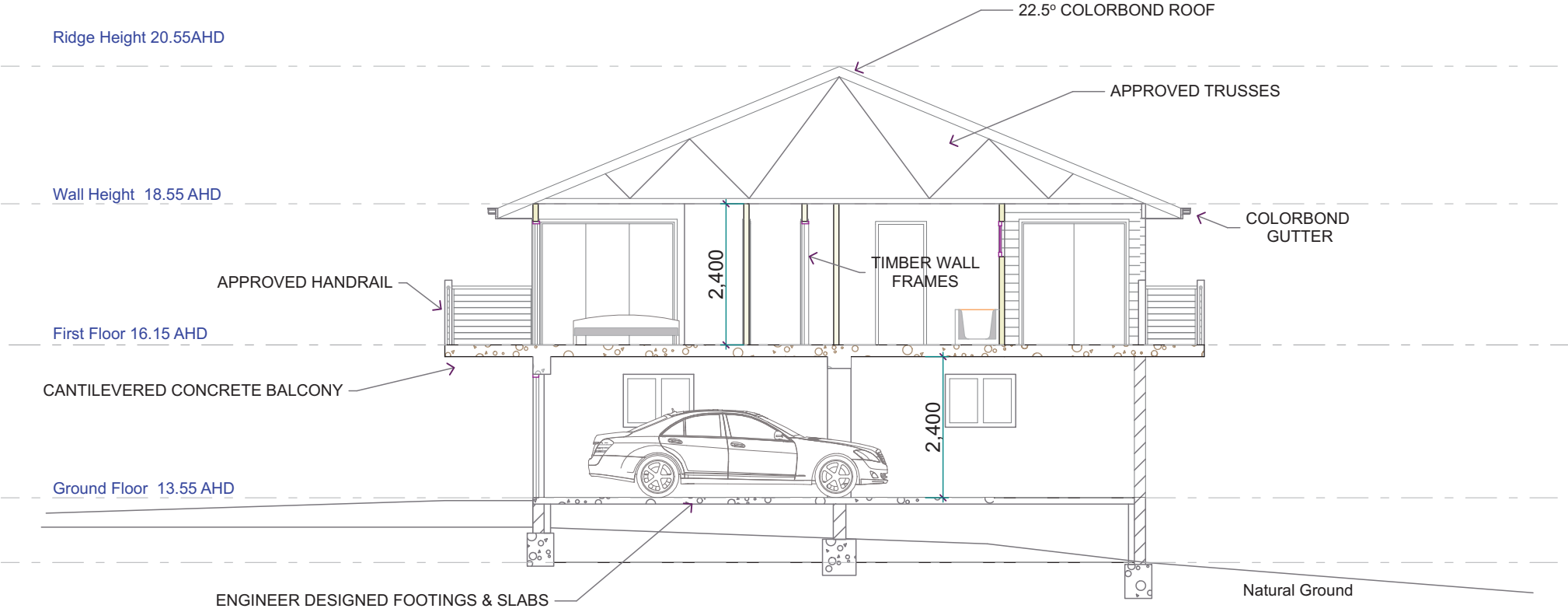
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1:100 @A3	DR1
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DR-05	



SECTION A1

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				Scale: 1:100 @ A3 Rev: DR1
				Drawing No: DR-06